

THIS AMENDMENT TO THE DECLARATION FOR THE LINKS CONDOMINIUMS is made into this 13 day of July, 2009, by GOLF COURSE PARTNERS, INC., a Montana limited liability company (hereinafter referred to as the "Declarant");
WITNESSETH:

WHEREAS, Declarant is the developer and Owner of the undeveloped portions of the following described property situated in Gallatin County, Montana:

Lot 57A, Bridger Creek Subdivision, Phase 1, City of Bozeman, Montana.

WHEREAS, Declarant intends to continue developing, selling and conveying condominiums located in the above-described real property, hereinafter referred to as "THE LINKS CONDOMINIUMS".

WHEREAS, Declarant caused to be filed in the records of the Gallatin County Clerk and Recorder Declaration for the The Links Condominiums on August 1, 2008 as Document 2307174 and further desires to continue to subject the above-described real property, together with condominiums and phases contained therein, to the Declaration and inclusive of additional amendments to the declaration as set forth herein;

NOW, THEREFORE, Pursuant to the provisions of Article VI of the Original Declaration, Declarant does hereby amend and restate the Declaration and further declares the all provisions of the previously established Declaration are duly incorporated herein, for the purpose of maintaining a uniform and stable value, character, architectural design, use and development of the property. Such Declaration shall apply to the entire property, and all improvements placed or erected thereon, unless otherwise specifically excluded herein.

The Declaration referenced above is amended by the following;

Section II. REAL ESTATE, Paragraph 1, shall now state;

1. Description: The property which is by this Declaration submitted and subject to the Act is described as follows:

Lot 57A, Bridger Creek Subdivision, Phase 1, City of Bozeman, Montana, according to the official plat thereof on file and of Record in the office of the County Clerk and Recorder, Gallatin County, Montana.

(hereinafter referred to as "Property")

The condominiums units in Phase 1 consist of 4 separate units numbered 2415A, 2415B, 2413A and 2413B, subject to the expansion provisions of paragraph IV, below. The provisions of this Declaration and the Bylaws shall be construed to be covenants running with the land, and shall include every unit and shall be binding upon the unit owners, their heirs, personal representatives and assigns for as long as the THE LINKS CONDOMINIUMS Declaration and Bylaws are in effect.

Section IV. OWNERSHIP AND VOTING – EXHIBITS – Use, Paragraph 1, shall now state;

- 1. Percentage of Interest: Each Unit Owner shall be entitled to the exclusive ownership, use and possession of his unit. Additionally, each Unit Owner shall have percentage of undivided interest in the general common elements of THE LINKS CONDOMINIUMS. Such percentage represents his ownership interest in the general common elements, and liability for common expenses. The percentage of interest in the general common elements for the respective owners shall be equal since the value of each unit is approximately the same. Such percentage of interest owned by each of the Units in THE LINKS CONDOMINIUMS shall be according the the percentages set forth below:

PHASE 1: Units 2415A, 2415B, 2413A and 2413B located on Birdie Drive interest in the general common elements equals twenty-five percent (25%) each, subject to the expansion provisions of paragraph IV, below. Each unit being 1876 sqft.

Section IV. Exhibit A

Exhibit A to be amended to show unit addresses.

IN WITNESS WHEREOF, the undersigned, as owner of record of all of the THE LINKS CONDOMINIUMS units and one hundred percent (100%) of the voting interests to THE LINKS CONDOMINIUMS as of the date hereof, hereby declare and affirm the adoption of the foregoing Amendment of the Bylaws of the 13 day of July, 2009

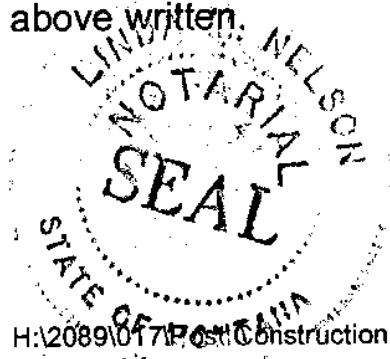
GOLF COURSE PARTNERS, INC.

GCP Inc
 BY: John R. Schunk
 Its: Secretary

STATE OF MONTANA)
 :ss.
 County of Gallatin)

On this day 13 of July, 2009 before me, a Notary Public in and for the State of Montana, personally appeared John R. Schunk known to me to be the Secretary, of GOLF COURSE PARTNERS, INC., whose name is subscribed to the within instrument and acknowledged to me that it executed the same on behalf of COLF COURSE PARTNERS, INC.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



Linda M. Nelson
 Printed Name: Linda M. Nelson
 Notary Public for the State of Montana
 Residing at: Bozeman, MT
 My commission expires: 11/23/2009

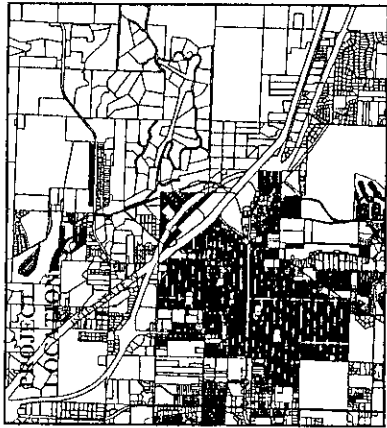
The Links Condominiums

Final Site Plan - Grading Plan

LOT 57A OF THE AMENDED PLAT OF LOTS 56, 57, & 58A OF BRIDGER CREEK SUBDIVISION PHASE 1 SITUATED IN THE SE 1/4 SECTION 31, T1S, R6E, P.M.M., CITY OF BOZEMAN, GALLATIN COUNTY, MONTANA
ZONED: R-3

2307174
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Charlotte Mills-Gallatin Co MTMISC 300.00

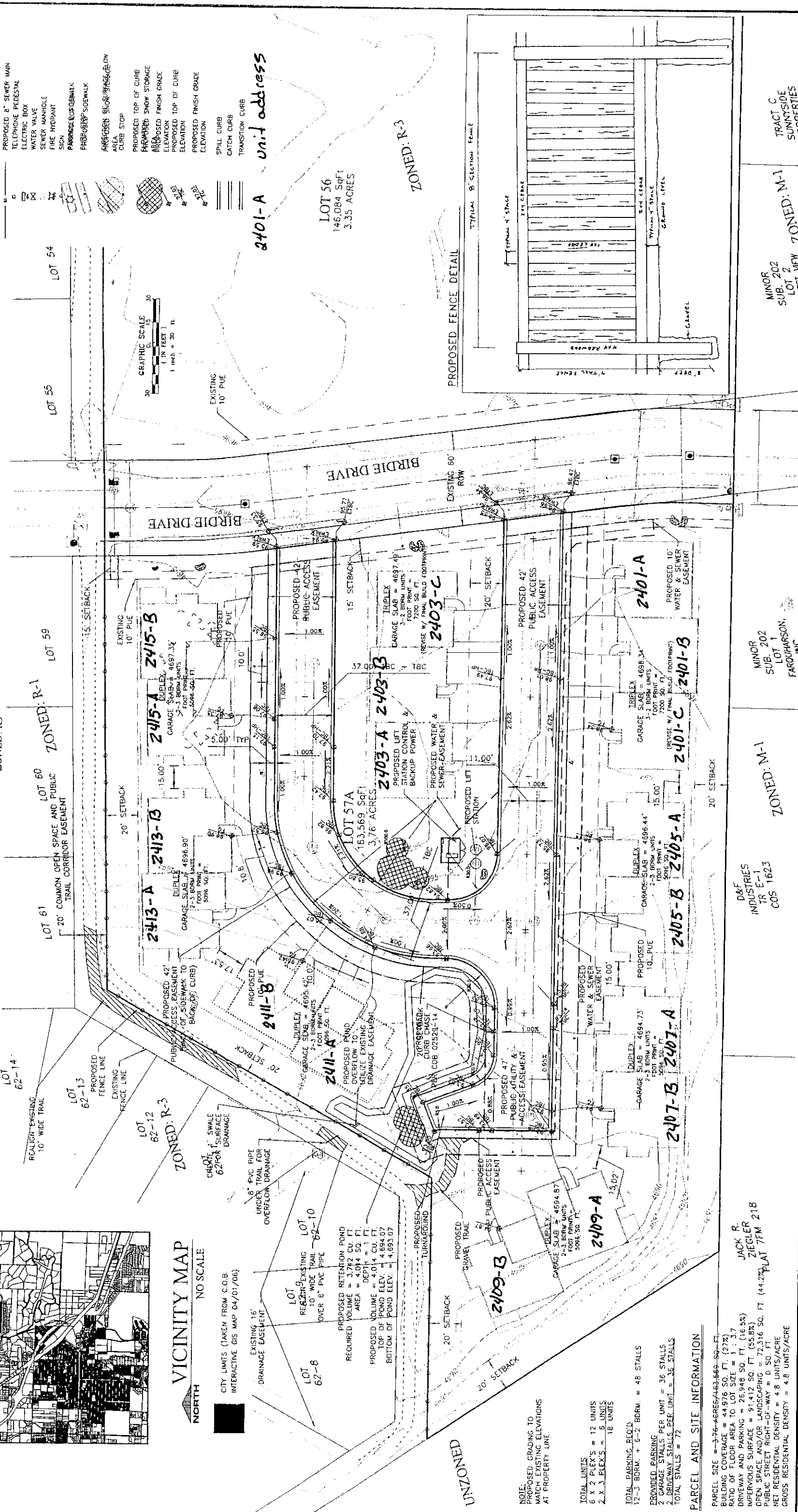


VICINITY MAP
NO SCALE

CITY LIMITS (TAKEN FROM C.O.B. INTERACTIVE GIS MAP 04/01/06)

LEGEND

- PROPOSED TRAIL
- EXISTING TRAIL
- EXISTING 18" STORM MAIN
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- BOUNDARY SETBACK LINE
- EXISTING PUBLIC UTILITY EASEMENT
- EXISTING FENCE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED PRIVATE UTILITY EASEMENT
- PROPOSED 5" WATER MAIN
- PROPOSED 8" SEWER MAIN
- TELEPHONE PEDESTAL
- ELECTRIC BOX
- WATER VALVE
- SEWER MANHOLE
- FIRE HYDRANT
- SIGN
- PROPPOSED CURB
- PROPPOSED SIDEWALK
- PROPPOSED BIKEWAY
- PROPPOSED BIKEWAY EASEMENT
- CURB STOP
- PROPPOSED TOP OF CURB
- PROPPOSED SNOW STORAGE
- PROPPOSED FINISH GRADE ELEVATION
- PROPPOSED TOP OF CURB ELEVATION
- PROPPOSED FINISH GRADE ELEVATION
- SPILL CURB
- CATCH CURB
- TRANSITION CURB



NOTE:
PROPOSED GRADING TO MATCH EXISTING ELEVATIONS AT PROPERTY LINE.

TOTAL UNITS
6 X 2 PLEX'S = 12 UNITS
2 X 3 PLEX'S = 6 UNITS
18 UNITS

TOTAL PARKING REQ'D
12-3 BORM. + 6-2 BORM. = 48 STALLS

PROVIDED PARKING
2 GARAGE STALLS PER UNIT = 36 STALLS
2 DRIVEWAY STALLS PER UNIT = 36 STALLS
TOTAL STALLS = 72

PARCEL AND SITE INFORMATION

PARCEL SIZE = 3.76-6565-163-569 SQ. FT.
BUILDING COVERAGE = 44,976 SQ. FT. (27%)
RATIO OF FLOOR AREA TO LOT SIZE = 1:3.7
DRIVEWAY AND PARKING = 26,948 SQ. FT. (16.5%)
IMPERVIOUS SURFACE = 91,412 SQ. FT. (55.5%)
OPEN SPACE AND/OR LANDSCAPING = 72,316 SQ. FT. (44.2%)
PUBLIC STREET RIGHT-OF-WAY = 0 SQ. FT.
NET RESIDENTIAL DENSITY = 4.8 UNITS/ACRE
GROSS RESIDENTIAL DENSITY = 4.8 UNITS/ACRE

REVISIONS

NO.	DESCRIPTION	DATE	BY

VERIFY SCALE!
THESE PRINTS MAY BE REDUCED LINE BELOW MEASURES ONE INCH ON ORIGINAL DRAWING
MODIFY SCALE ACCORDINGLY!
H:\2008\015\ACAD\SITE\PLAN\FINAL SITEPLAN.dwg Plotted by jim ulman on Aug 11/2008

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THE LINKS CONDOMINIUMS

MINOR SUB. 202 LOT 1 FAROUHARSON, INC.
ZONED: M-1

MINOR SUB. 202 LOT 2 FAROUHARSON, INC.
ZONED: M-1

TRACT C SUNNYSIDE PROPERTIES AT

PROJECT NUMBER: 2009 017
SHEET NUMBER: 1
DRAWING NUMBER: C-1

D&F INDUSTRIES TR E-1 COS 1623

ZONED: M-1

MINOR SUB. 202 LOT 1 FAROUHARSON, INC.
ZONED: M-1

MINOR SUB. 202 LOT 2 FAROUHARSON, INC.
ZONED: M-1

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